

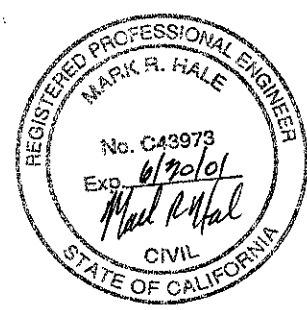
**PLAN**  
SCALE 1" = 20'

GENERAL INSPECTION FOR CODE ENFORCEMENT PURPOSES IS PROVIDED. VIOLATIONS WHICH ARE BROUGHT TO OUR ATTENTION DURING INSPECTION WILL BE INVESTIGATED AT THE DISCRETION OF THE CITY. CITY INSPECTION DOES NOT PURPORT TO IDENTIFY ANY OR ALL CODE VIOLATIONS OR TO INDICATE CONFORMANCE OF CONSTRUCTION TO PLANS.

DEPARTMENT OF COMMUNITY DEVELOPMENT  
THE PERMIT FOR THE WORK INDICATED ON THESE PLANS IS APPROVED ON THE BASIS THAT ALL WORK WILL COMPLY WITH ALL REQUIREMENTS OF THE CITY OF SANTA ROSA, WHETHER SHOWN ON THESE PLANS OR NOT. DIRECTOR

INSPECTION OF THE FOUNDATION EXCAVATIONS AND ALL FILL PLACEMENT SHALL BE UNDER

DIRECTION OF THE SOILS ENGINEER IN COMPLIANCE WITH CHAPT. 70 U.B.C.



**NOTES:**

- LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF UTILITIES WITH APPROPRIATE AGENCIES PRIOR TO STARTING WORK.
- SLOPE GRADE 1/4" PER FOOT FOR 4'-0" MIN. AWAY FROM BUILDING.
- FOUNDATION DRAIN LINES TO BE PROVIDED WHERE NECESSARY TO DRAIN WATER AWAY FROM FOUNDATION AND UNDER FLOOR AREAS.
- PROVIDE POSITIVE DRAINAGE FROM THE UNDERFLOOR AREA TO PREVENT THE PONDING OF WATER.
- THE DRIVEWAY SHALL BE 4" CONCRETE.
- THE DRIVEWAY SHALL BE 20' MIN. FROM BACK OF SIDEWALK TO GARAGE FACE.
- THE DRIVEWAY APPROACH SHALL BE CONSTRUCTED PER CITY STANDARD 250B.
- DRIVEWAY APPROACH WIDTH SHALL BE 16', THE WINGS SHALL BE 2'.
- CONSTRUCT DRIVEWAY APPROACH TO CONTAIN STREET AND GUTTER FLOWS.
- PROVIDE 2.5 FT. CLEARANCE BETWEEN FINISH FLOOR (FF) ELEVATION TO GROUND BENEATH THE BUILDING.
- DESIGN TO COMPLY WITH ANY NOTES OR RESTRICTIONS SHOWN ON THE FINAL MAP, SUBDIVISION IMPROVEMENT PLANS, ZONING ORDINANCES, SOILS REPORT OR OTHER APPLICABLE ITEMS.
- FOR ALL DIMENSIONS OF PROJECTIONS, SEE ARCHITECT'S FLOOR PLAN.

**NOTES:**

- A SEWER RELIEF VALVE MUST BE INSTALLED AT THE 2 WAY CLEANOUT TO THE HOUSE ON ALL LOTS WHERE THE FINISH FLOOR ELEVATION IS BELOW THE RIM OF THE NEXT UPSTREAM MANHOLE OF THE PUBLIC SEWER PER THE UPC SECTION 710.1.
- NO STRUCTURES MAY ENCROACH ON ANY PUBLIC WATER OR SEWER EASEMENT ABOVE OR BELOW THE SURFACE OF THE GROUND. THIS INCLUDES FOOTINGS OF FOUNDATIONS OR EAVES FROM THE ROOF OF ANY ADJACENT STRUCTURES.
- ALL SETBACK DIMENSIONS AND ELEVATIONS AS SHOWN MAY BE ADJUSTED TO FIT FIELD CONDITIONS.
- IT IS TO BE UNDERSTOOD THAT THE DRAINAGE AREAS, SLOPES AND GRADES SHALL NOT BE ALTERED, CHANGED, BLOCKED, MODIFIED OR IN ANY WAY RECONSTRUCTED BY OWNER CONTRARY TO WHAT IS DEPICTED ON THIS PLOT PLAN.
- THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS.

REVIEWED WITH OWNER(S) ONSITE:

OWNER(S) \_\_\_\_\_ DATE \_\_\_\_\_ COBBLESTONE HOMES, INC. DATE \_\_\_\_\_

<b>APPROVAL:</b>  COBBLESTONE HOMES, INC. _____ DATE _____  CARLILE, MACY, MITCHELL & HERYFORD DATE _____	<b>FOUNTAINGROVE II EAST UNIT 8</b> <b>SANTA ROSA, CA.</b>	<b>PLOT PLAN</b>  PLAN SCALE 1" = 20' CONTOUR INTERVAL = 2' SECTION SCALE 1" = 20'	<b>REVISIONS:</b> _____ _____ _____ _____
	LOT # <u>8</u> LOT AREA <u>9997 sq. ft.</u> ADDRESS: <u>3992 MILLBROOK DRIVE</u> EXTERIOR COLOR SCHEME _____		

AutoCAD file name: 00-PR-00 J  
AutoCAD Xref files: G-HC, G-GRADE ]