

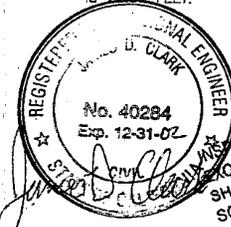
NOTES:

1. PROVIDE POSITIVE DRAINAGE FROM UNDER FLOOR AREA TO PREVENT PONDAGE OF WATER.
2. ALL BSL DIMENSIONS SHOWN ARE 90° TO PROPERTY LINE.
3. EXCESS EARTH TO BE REMOVED TO A SITE APPROVED BY THE CITY OF SANTA ROSA BUILDING DIVISION.
4. SLOPE GRADE 1/4IN. PER FT. FOR MINIMUM OF 4 FEET FROM BUILDING.
5. CONSTRUCT DRIVEWAY APPROACH TO CONTAIN STREET AND GUTTER FLOWS.
6. ALL UTILITY LOCATIONS ARE APPROXIMATE.
7. ZONED: R-2-PD
8. CLOSED CIRCUIT ROOF DRAINAGE SYSTEM PIPE MATERIAL SHALL BE SCHEDULE 40 PVC, SDR 35, OR HDPE.
9. DRIVEWAY SHALL BE 4" CONCRETE.
10. THIS SUBDIVISION LIES WITHIN A HIGH PRESSURE ZONE. INDIVIDUAL PRESSURE REGULATORS ARE REQUIRED ON ALL LOTS IN THIS SUBDIVISION.

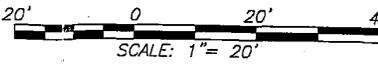
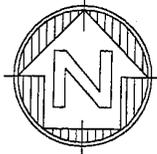
(A) DISTANCE FROM BACK OF SIDEWALK TO GARAGE DOOR IS 22.33 FEET.

LEGEND

- FF~FINISH FLOOR
 - FH~FIRE HYDRANT
 - FL~FLOWLINE
 - GF~GARAGE FINISH FLOOR
 - HP~HIGH POINT
 - IE~INVERT ELEVATION
 - PSDE~PRIVATE STORM DRAIN EASEMENT
 - PUE~PUBLIC UTILITY EASEMENT
 - SD~STORM DRAIN
 - S~SANITARY SEWER
 - TC~TOP OF CURB
 - TG~TOP GRATE
 - W~WATER
- W WATERMAIN
 - Storm Drainage
 - SS SANITARY SEWER
 - SWALE
 - PLAN
 - (28BR) REVERSE PLAN
 - ARCH. ELEV.
 - SEWER CLEANOUT
 - WATER METER
 - ~YARD DRAIN, NDS#04 OR APPROVED EQUAL



INSPECTION OF THE FOUNDATION EXCAVATIONS AND ALL FILL PLACEMENT SHALL BE UNDER DIRECTION OF THE SOILS ENGINEER IN COMPLIANCE WITH CHAPT. 83 U.B.C.



PLOT PLAN
LOT 2 ~ FOUNTAINVIEW 3
SANTA ROSA, CALIFORNIA

APPROVAL:	
BUYER	BUILDERS REPRESENTATIVE
Permit # 851936	
ADDRESS: 1968 GARDENVIEW CIRCLE	

GENERAL INSPECTION FOR CODE ENFORCEMENT PURPOSES IS PROVIDED. VIOLATIONS WHICH ARE BROUGHT TO OUR ATTENTION ARE SUBJECT TO OUR INVESTIGATION DURING THE DISCRETION OF THE CITY. CITY INSPECTION DOES NOT PURPORT TO INDICATE ANY OR ALL CODE VIOLATIONS OR TO INDICATE CONFORMANCE OF PLANS.

SPECIAL NOTES

1. THE DRAINAGE PLAN FOR THIS LOT HAS BEEN DESIGNED BY A PROFESSIONAL CIVIL ENGINEER. NO CHANGES SHOULD BE MADE TO THIS DRAINAGE PLAN UNLESS DESIGNED AND APPROVED BY A PROFESSIONAL CIVIL ENGINEER AND/OR A LICENSED LANDSCAPE ARCHITECT.
2. THIS PLOT PLAN REPRESENTS THE GENERAL FEATURES OF YOUR PARCEL. EXACT LOCATION AND DIMENSIONS MAY VARY.

DATE OF SUBMITTAL: 12/26/00
 DATE OF REVIEW: 12/26/00
 DEC 26 2000
 DEPARTMENT OF COMMUNITY DEVELOPMENT

CITY OF SANTA ROSA
 P.O. Box 1678
 95402
OBERKAMPER & ASSOCIATES
CIVIL ENGINEERS INC.
 415 TESCONI CIRCLE, SANTA ROSA, CALIFORNIA
 (707)546-5630
 DEPARTMENT OF COMMUNITY DEVELOPMENT
 DECEMBER 2000