

220 Darbster

**ABBREVIATIONS:**

BL - BUILDING SETBACK LINE  
 CLOSURE WALL  
 FACE OF CURB  
 FINISH FLOOR  
 FINISH GRADE  
 FINISH FLOOR  
 IN FAVOR OF

PRV. GRAB. EASEMENT  
 PAD GRADE  
 PUBLIC UTIL. EASEMENT  
 SLOPE SURFACE  
 SIGNAL EASEMENT  
 TOP OF CURB  
 TOP OF GRADE  
 WATER SERVICE

**BUILDING DATA:**

BLDG. PLAN NO.: 2A  
 ADDRESS: 3883 ST.  
 NO. OF STORES:  
 EXT. COLOR SCHEME:  
 PAD GRADE: 182.0 FT.  
 FF ELEVATION: 182.2 FT.  
 GARAGE FF FRONT: 182.5 FT.  
 GARAGE FF REAR: 182.7 FT.

**NOTES:**

THIS PLOT PLAN IS PREPARED TO ILLUSTRATE THE DIMENSIONAL RELATIONS OF FROM BUILDING FOUNDATION TO PROPERTY LINE, DESIGN DRAINAGE CONTROL, ELEVATIONS, AND DIRECTION OF DRAINAGE FLOW TO COMPLY WITH LOCAL ORDINANCES WITH THE PURPOSE OF BUILDING PERMIT JURISDICTION. INFORMATION SHOWN IS APPROPRIATE EXCEPT FOR THOSE SETBACKS WHICH ARE INDICATED BY ORDINANCE. THIS PLAN WAS PREPARED AS A CONSTRUCTION TOOL AND DOES NOT REPRESENT THE AS-BUILT CONDITION WHICH VARIES IN SOME DEGREE FROM THE DESIGN.

LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF UTILITIES WITH APPROPRIATE AGENCIES PRIOR TO STARTING WORK.

SLOPE GRADE 1/2" PER FOOT FOR 4'-0" MIN. AWAY FROM BUILDING.

THE DRIVEWAY SHALL BE 4" CONCRETE AND SHALL BE 18" MIN. WIDE.

DECISION TO COMPLY WITH ANY NOTES OR RESTRICTIONS SHOWN ON THE FINAL MAP, SUBDIVISION IMPROVEMENT PLANS, ZONING ORDINANCES, SOIL REPORT, OR OTHER APPLICABLE ITEMS.

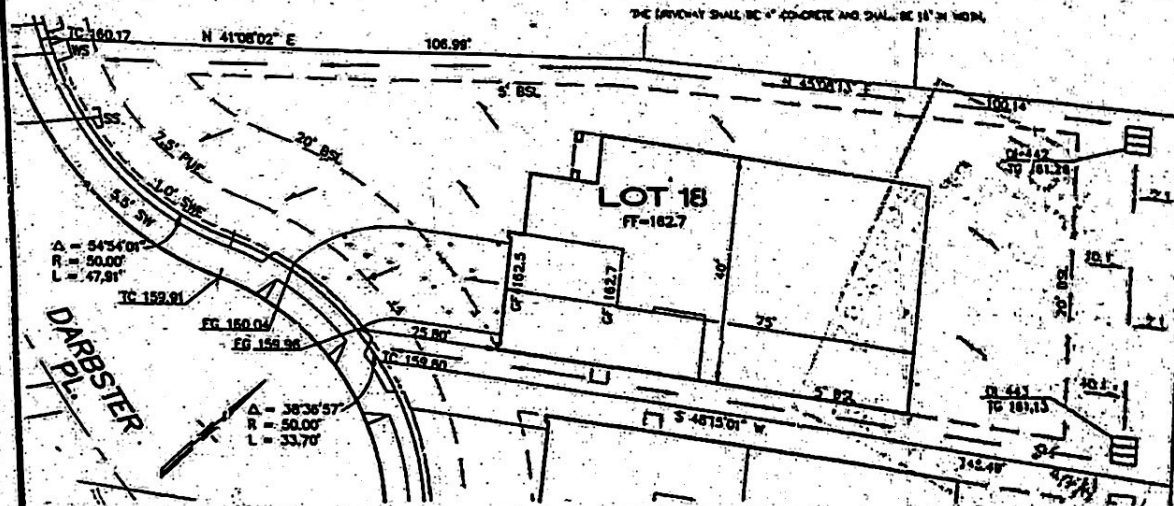
THE ALL DIMENSIONS OF PROJECTIONS, SEE ARCHITECT'S FLOOR PLAN.

IT IS TO BE UNDERSTOOD THAT THE DRAINAGE AREAS, SLOPES AND GRADES SHALL BE SUBJECT TO CHANGE, MODIFIED OR IN ANY WAY BE CONDUCTED BY OWNER, CONTRACTOR OR ANY OTHER PARTY DEPENDING ON THIS PLOT PLAN.

THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS.

REVIEWED WITH OWNER(S) ONSITE:

OWNER(S) \_\_\_\_\_ DATE \_\_\_\_\_  
 DEVELOPER'S NAME \_\_\_\_\_ DATE \_\_\_\_\_



PLAN SCALE 1" = 20'	DATE: JANUARY 1998	DRAWN BY: D.W.S.	PLOT PLAN - LOT NO. 18	APPROVAL:	REVISIONS:
<b>CARLIE MACY</b> CIVIL ENGINEER - URBAN PLANNERS - LAND SURVEYORS - LANDSCAPE ARCHITECTS 5000 HIGHWAY 101, SUITE 100, SAN RAFAEL, CA 94903			EVERGREEN SONOMA COUNTY, CALIFORNIA	DEVELOPER'S NAME _____ DATE _____ CARLIE MACY _____ DATE _____	1. 1-21-98 DWS

[ AUC 6400 Rev. 02/06; 8221P/PLD/C ]  
 [ AUC 6400 Rev. 02/06; 8221P/C/D/C, S/M/A/D/L/S ]